



Eastgate, Macclesfield, SK10 1GD.
£120,000

Whittaker
& Biggs Est. 1930

65 Eastgate, Macclesfield

A well-presented and spacious one bedroom apartment enjoying a ground floor position and being suitable for 1st time buyers and investors alike. The 16ft living room/dining room is worthy of mention being of a good size and also being flooded with natural light from two windows. The property forms part of this modern development, which is only a short distance from the town centre and the train station with direct links to major cities including Manchester and London. There is also a handy park literally on 'the door step'. The full accommodation briefly comprises; communal entrance hall with security entry system, private entrance hall with storage, a 16ft living/dining room, fitted kitchen, a double bedroom and a bathroom with fitted white suite. The property also benefits from off-road parking with an allocated space being directly in front of the apartment. To fully appreciate the size and convenient position of this apartment a viewing is a must! Please call as soon as possible to avoid disappointment. NO ONWARD CHAIN.



ACCOMMODATION

Communal Hallway

Security entry phone system, stairs to upper levels.

Private Hall

Radiator, security entry phone, beech effect door cloaks cupboard.

Living Room/Dining Room 16' 9" x 10' 6" (5.1m x 3.21m)

Two double glazed windows, television point, ceiling coving, two radiators, telephone point.

Kitchen 11' 9" x 6' 10" (3.58m x 2.08m)

Fitted kitchen units to base and eye level, gas hob, electric oven, integral washing machine, 1 1/4 sink unit with mixer tap, double glazed window to rear elevation, radiator, tiled splash back, extractor over hob, inset ceiling spot lights.

Bedroom 11' 8" x 9' 7" maximum measurements (3.55m x 2.93m)

Double glazed window to rear elevation, radiator.

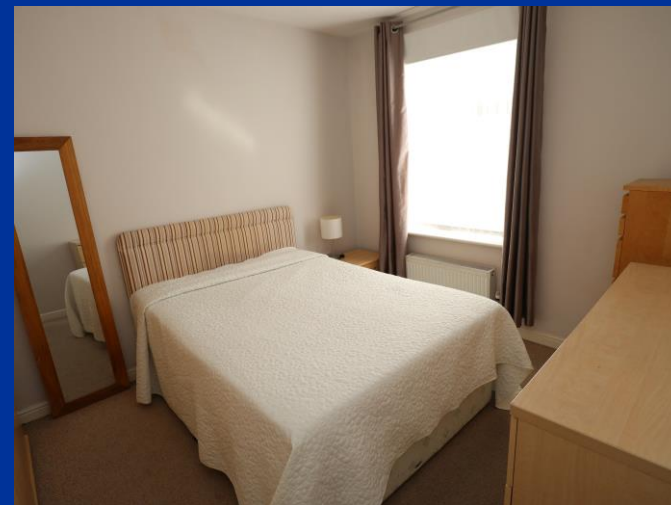
Bathroom 9' 8" x 5' 7" maximum measurements (2.95m x 1.70m)

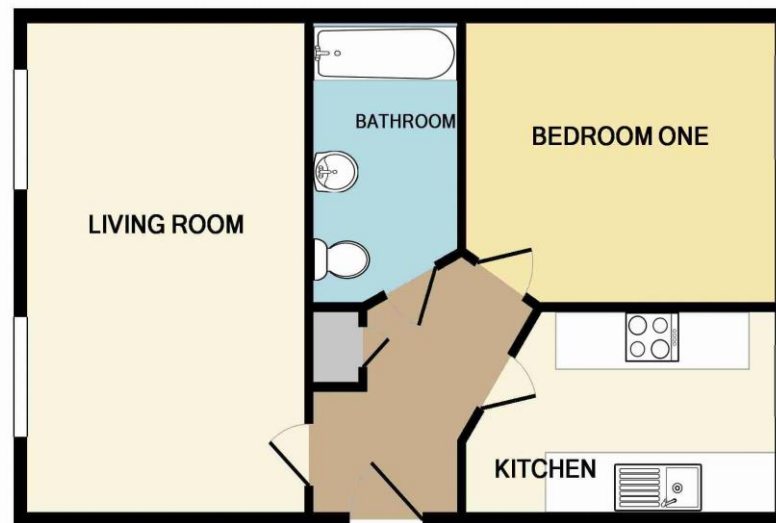
White suite comprising panelled bath with electric shower over, low level wc, pedestal wash basin, electric shaver point, part tiled walls, radiator.

Outside

The allocated space is located to the front and there are also some visitor spaces located to the rear.

EPC Band C





Whilst every attempt has been made to ensure the accuracy of the floor plan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission, or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given
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Directions

From our office turn left opposite the train station. Proceed through the traffic lights under the railway bridge onto Buxton Road. Take the first turning on the left into York Street. Take the first turning on the left into Eastgate and the property can be found on the left hand side.

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